

# RANCHO-PORTER

## **CHAPTER THREE: DEVELOPMENT PLAN**

*Discusses the land use plan, definitions, and development standards.*



## CHAPTER 3: DEVELOPMENT PLAN

The Rancho-Porter Specific Plan will provide development standards that meet the goals and objectives stated in the first chapter. Upon adoption by the City, this plan will serve as the guiding policies for Rancho-Porter. However, if a policy has been omitted from this plan, then the Brawley Zoning Ordinance shall be applied.

This section contains development standards and the land use policy for the Rancho-Porter Planned Community. These standards and policies are a tool to implement the specific plan and are complimented by the goals.

### 3.1 Land Use Plan

The project, currently underdeveloped farmland, is approximately 408 acres of which only 277.24 acres will be developed and annexed into the City of Brawley. The remaining parcels, Parcels 2 of PM-02416 and Parcel 2, of PM-2438 east of State Route 111 shall be legally separated through the County of Imperial and are not considered part of the subdivision. **Table 3.1** gives a complete breakdown of the land uses, total acres, and total units.

Table 3.1: Proposed Land Uses								
Land Use	Area (Acres) <sup>±</sup>		Dwelling Units		Density (du/ac)		% of Total Area	
	w/o	w/	w/o	w/	w/o	w/	w/o	w/
<b>Residential Patio</b> (3500 sq. ft.)	15.04							
Residential	14.93		110		7.31		5.5 %	
Paseo	0.11							
<b>Mixed Use Plaza</b> (Commercial & Multi-family)	21.04		252		12.0		7.7 %	
<b>Residential Village Suite</b> (Multi-family)	22.82		389		17.05		8.3 %	
<b>Residential Caravilla</b> (Mobile Home)	53.63	37.32						
Residential	50.53	35.12	504	342	9.40	9.16	19.5 %	13.6 %
Park <sup>1</sup>	3.10	2.20						
<b>Commercial Regional</b>	35.45	53.05	n/a	n/a	n/a	n/a	12.9%	19.3 %
<b>Park</b>	13.85	13.61						
Neighborhood	10.12	11.66	n/a	n/a	n/a	n/a	5.0 %	5.0 %
Linear/Pocket	3.73	1.95						
<b>Retention</b>	16.29	16.24	n/a		n/a		5.9 %	5.9 %
<b>Right-of-Way</b>	77.75	76.75	n/a		n/a		27.3 %	26.9 %
<b>Open Space – Public Facility</b>	21.37		n/a		n/a		7.8 %	
<b>Total</b>	<b>277.24</b>		<b>1,255</b>	<b>1,093</b>	<b>4.57</b>	<b>3.98</b>	<b>100 %</b>	
Note: w/o = with out commercial overlay, w/ = with commercial overlay								
<sup>1</sup> Open space is not included in the overall park acreage subtotal because the actual park acreage will not be determined until final map.								

The community was designed to provide a variety of residential types including: duplexes, mobile homes, apartments, and mixed use commercial with apartments located on upper floors. Approximately sixteen (16) acres will be dedicated as retention and fourteen (14) acres as park. Additional park acreage shall be designated as open space located within the Caravilla land use. The park acreage may change at final map, based on total density of the Mixed Use Plaza and Caravilla land uses.

Additional Commercial Regional above the thirty-five (35) acres can be added to this community if it is deemed necessary at a later date through the Commercial Overlay. This additional commercial will add approximately eighteen (18) acres of commercial to the project and reduce the number of Residential Caravillas units from 504 to 342. The retention basin located south of the Commercial Regional and north of the Residential Caravilla can be moved south to allow for the commercial overlay to connect to the original commercial area, provided the retention basin acres remain unchanged.

### 3.2 Development Standards

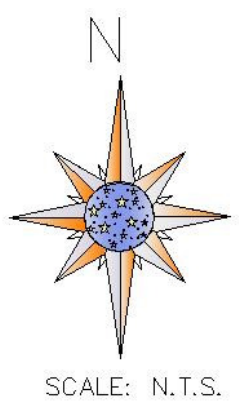
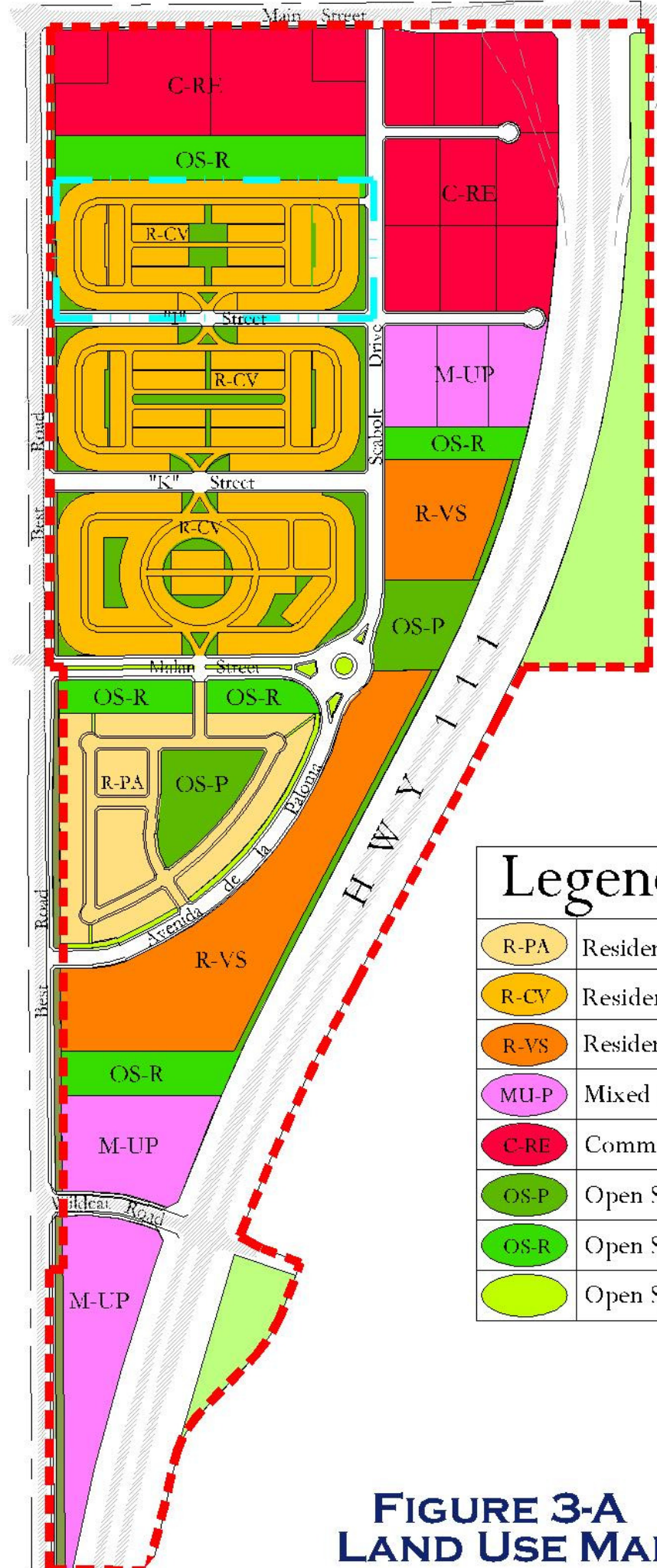
These development standards provide a list of development policies and setback information for each land use. The following **Tables (3.2 & 3.3)** identify each land use and offer a brief description of each and **Figure 3-A** shows the proposed land uses for this community.

<b>Table 3.2: Rancho-Porter Private Land Uses</b>					
<b>Land Use Designation</b>	<b>Land Use Name</b>	<b>Density DU/Acre</b>	<b>Maximum Commercial Square Feet</b>	<b>Acres +/-</b>	<b>Maximum Units<sup>1</sup></b>
<b>R-PA</b>	Residential – Single Family Patio (cottage/duplex 3500 sq. ft.)	7.3	n/a	15.04	110
<b>R-CV</b>	Residential – Single Family Caravilla (Mobile Home Park) <sup>2</sup>	9.4	n/a	53.63	504
<b>R-VS</b>	Residential – Village Suites (apartments)	17.1	n/a	22.82	389
<b>MU-P</b>	Mixed Use Plaza multi-family residential, retail & office commercial	12.0	275,000	21.04	252
<b>C-RE</b>	Commercial Regional	n/a	475,000	35.45	n/a
<b>OC-RE<sup>2</sup></b>	Commercial Regional Overlay	n/a	250,000	17.60	n/a
<b>Total (approximate)</b>		<b>4.57</b>	<b>1,000,000</b>	<b>166.73</b>	<b>1,255</b>

<sup>1</sup> Unit count and density are based on preliminary Tentative Map estimates that are to be used for the environmental studies.  
<sup>2</sup> The commercial overlay will be included if deemed necessary, the maximum dwelling units for R-CV will then drop to 345.

<b>Table 3.3: Rancho-Porter Public Land Uses</b>				
<b>Land Use Designation</b>	<b>Land Use Name</b>	<b>Primary Uses Permitted</b>	<b>Maximum Acres +/-</b>	<b>Required</b>
<b>OS-P</b>	Open Space - Park	Parks and recreation	13.22	16.82 <sup>1</sup>
<b>OS-R</b>	Open Space – Retention	Retention and passive park	16.29	15.11
<b>OS-PF</b>	Open Space – Public Facility	Parkways, and pedestrian, bicycle ways	3.73	n/a
<b>Totals (approximate)</b>			<b>33.24</b>	<b>31.93</b>
<sup>1</sup> The required park land for the City of Brawley is calculated by land use type and the total units, consistent with the City of Brawley Subdivision Ordinance.				





### Legend

R-PA	Residential - Patio
R-CV	Residential - Caravilla
R-VS	Residential - Village Suites
MU-P	Mixed Use - Plaza
C-RE	Commercial - Regional
OS-P	Open Space - Park
OS-R	Open Space - Retention
OS-P	Open Space - Public Facility

**FIGURE 3-A  
LAND USE MAP**

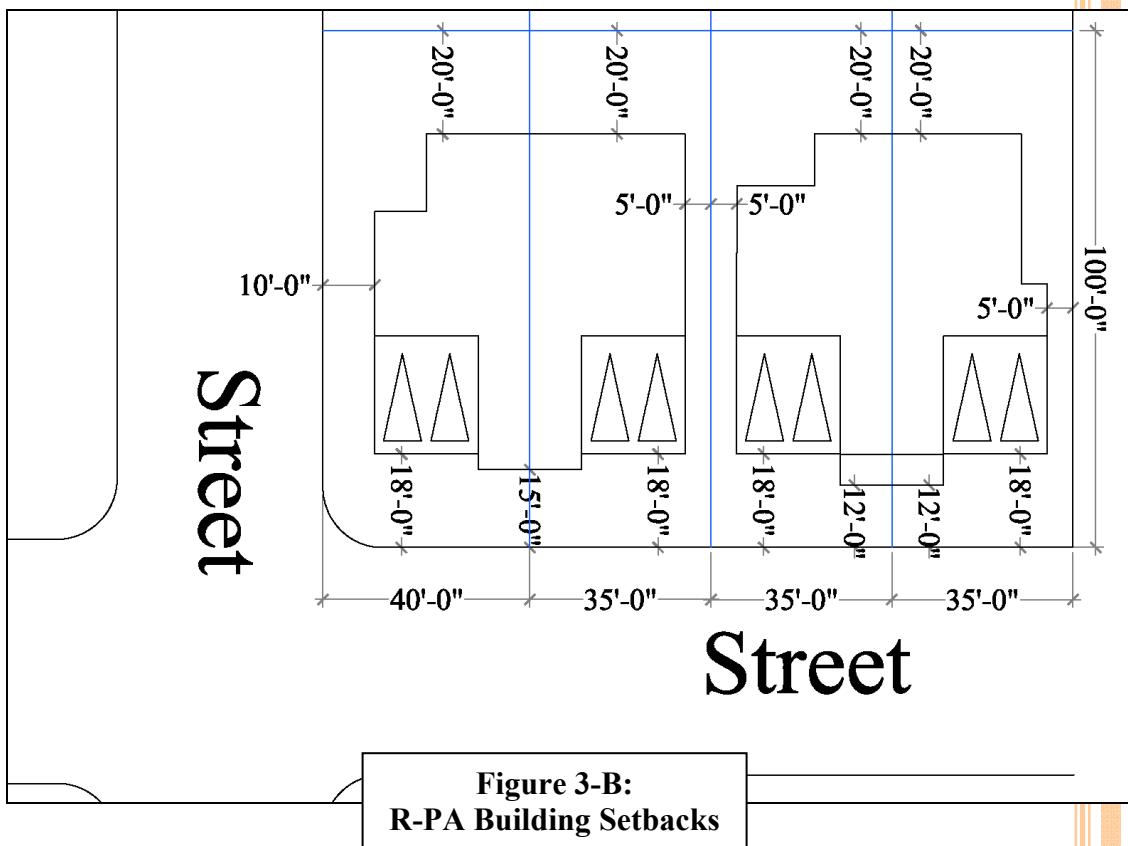


### 3.2.1 Characteristics of Land Uses

#### 3.2.1.1 Residential Patio (R-PA 7.3 DU/acre)

Patio homes are typically smaller than the traditional homes found in the City, and can be either be detached or attached. The goal of patio or duplex style housing is to create affordable homes for first time buyers, “starter homes.”

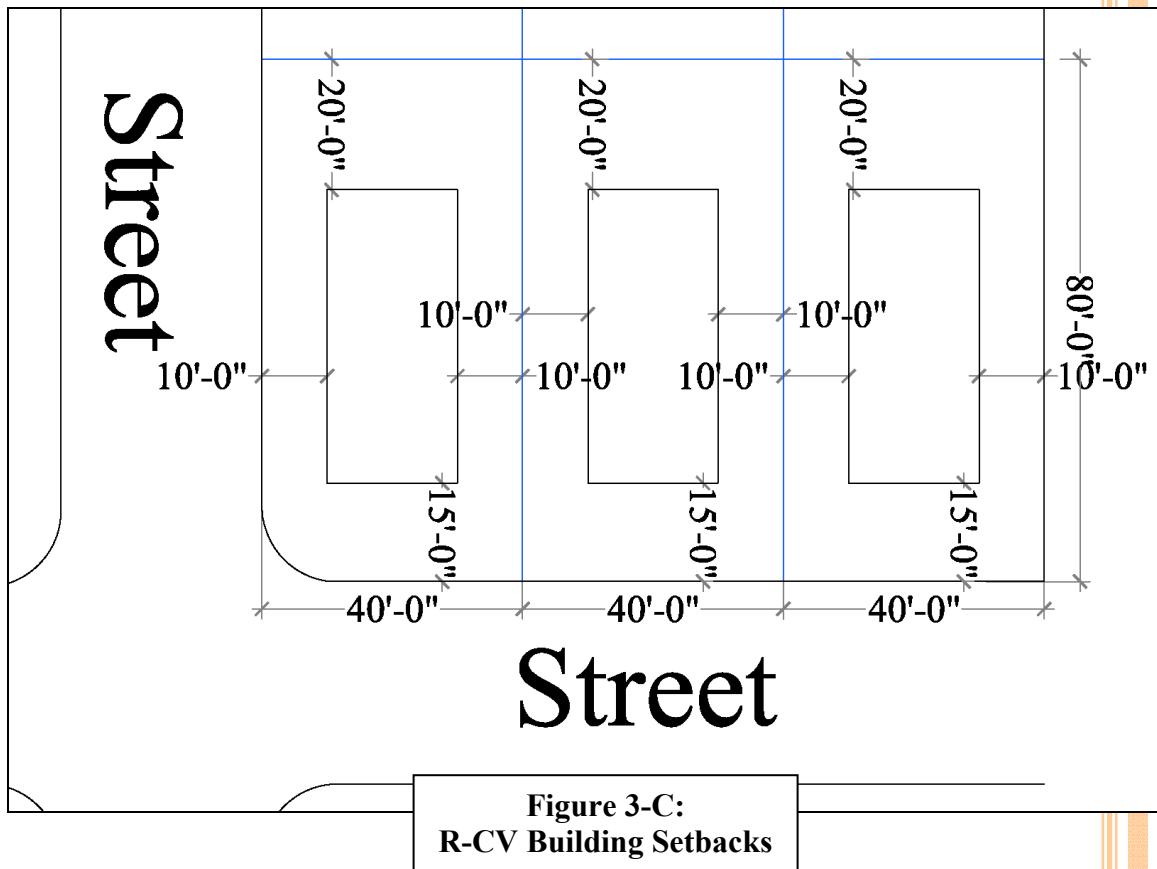
There will be a neighborhood park located within this land use. Development standards for Patio homes will be unique to the Rancho-Porter Community. See **Figure 3-B** for Patio home setbacks and **Table 3.7** for required development standards.



3.2.1.2 Residential Caravilla (R-CV 9.4 DU/acre)

Residential Caravilla land use will consist of a mobile home park or mobile home subdivision, the decision will come during final mapping. The objective is to provide affordable housing and a retired community in the City of Brawley. There will be approximately 504 homes on lots that vary in size depending on whether the lots are owner-occupied or renter-occupied. Residents will have access to regional and neighborhood commercial via bicycle paths and tree lined streets.

There will be private mini-parks located throughout the Caravilla uses. **Figure 3-B** shows the setbacks for Caravilla homes, and **Table 3.7** lists all required development standards.



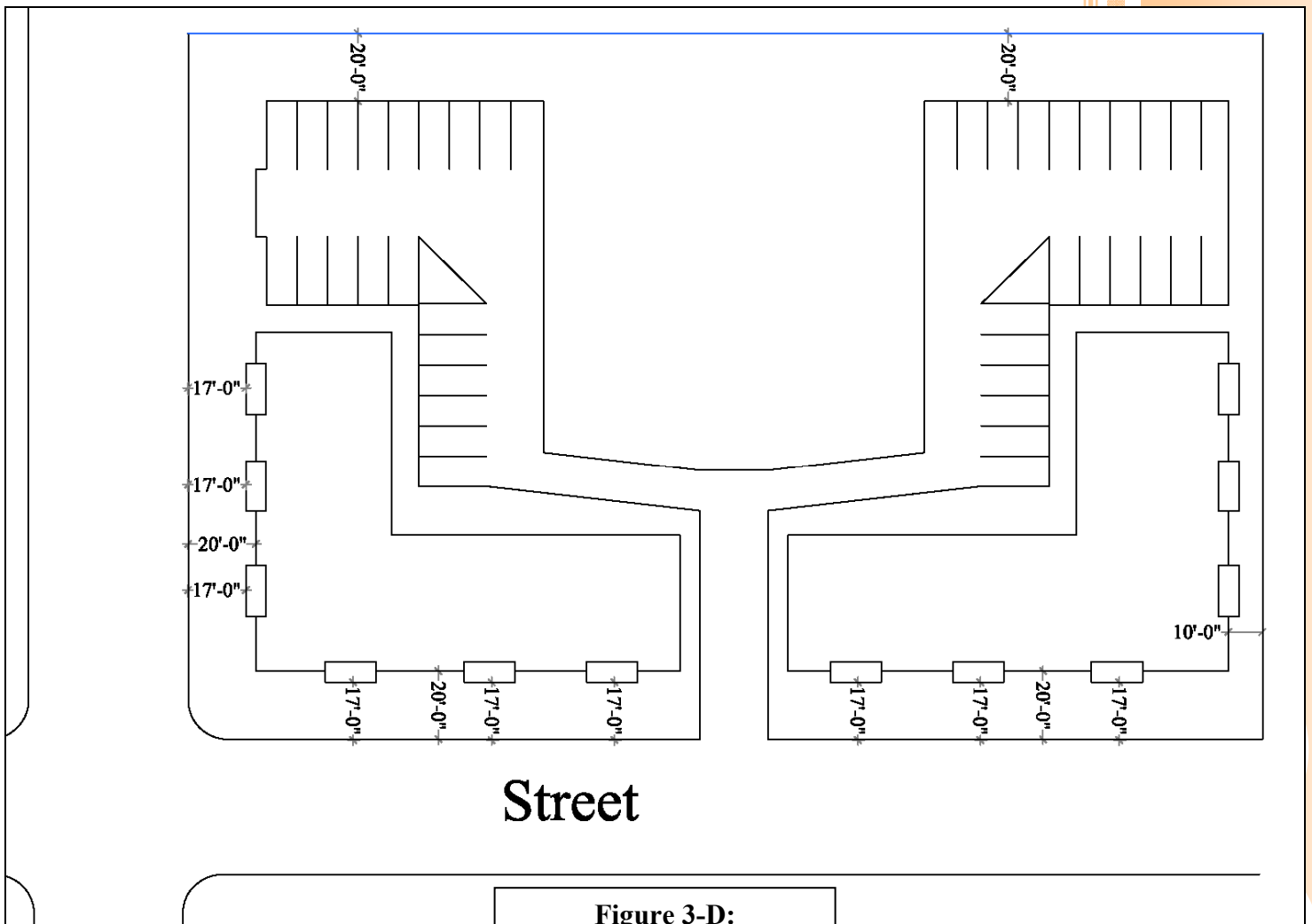


3.2.1.3 Residential Village Suite (R-VS 17.1 DU/acre)

Village Suites are apartment style buildings with a village feel. The Village Suites can be laid out in clusters or with courtyards to create a sense of place, and community. All buildings shall front streets whenever possible to improve the safety and aesthetics of the neighborhood.

There will be two areas of Village Suites within Rancho-Porter, located both north and south of the roundabout, along State Route 111. Between SR-111 and the Village Suites there will be a linear park buffer, with a bicycle path traveling through the middle. The bicycle path will link the multi-family to the parks and commercial areas throughout the community.

**Figure 3-D** shows the setbacks for Village Suites, and **Table 3.7** lists all required development standards.



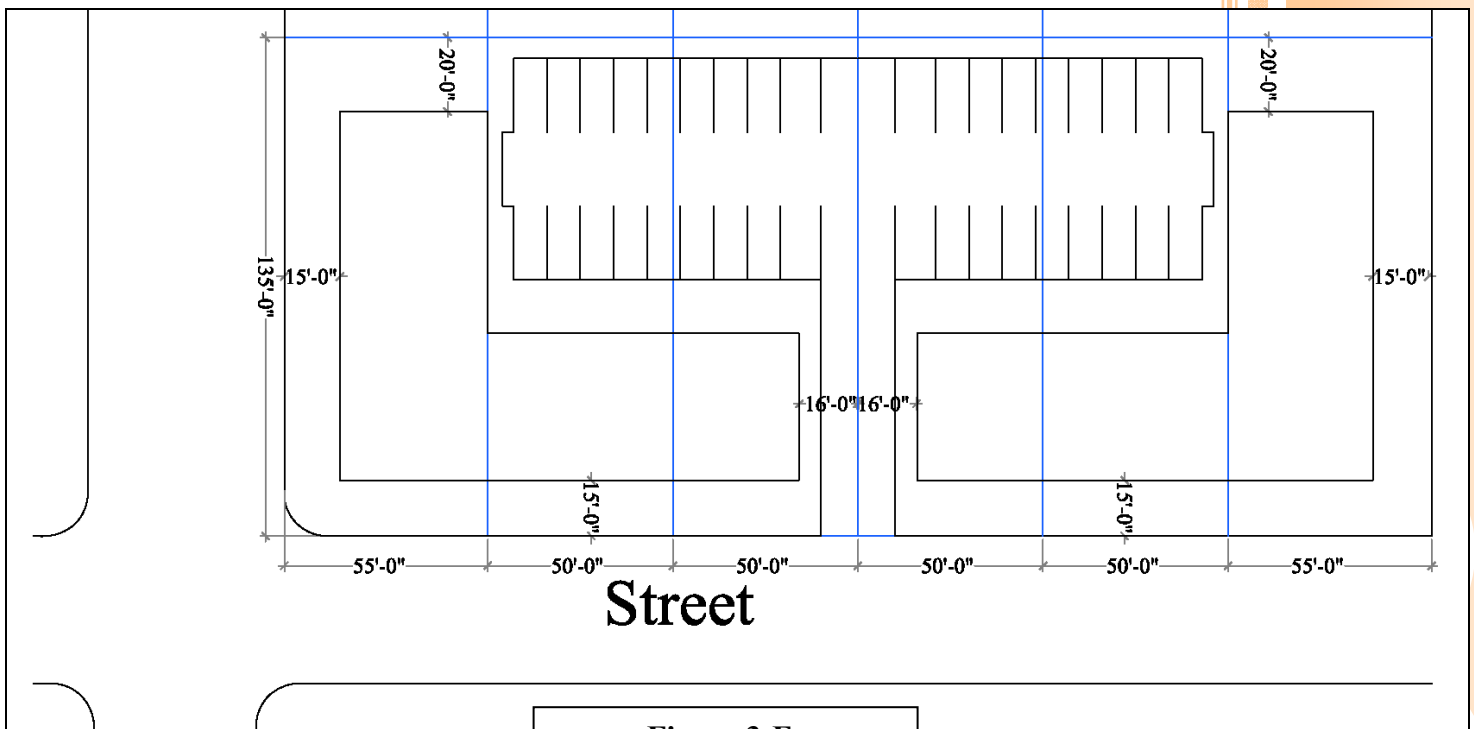
**Figure 3-D:  
R-VS Building Setbacks**

3.2.1.4 Mixed Use Plaza (MU-P 12.0 DU/acre)

The Mixed Use Plaza shall integrate apartments with restaurants, cafes, retail and office commercial. The purpose of this land use is to provide a live-work type experience for the community similar to a downtown area. A mixture of uses is vital and necessary for a healthy urban area. Commercial uses have the assurance that customers will be living above and around them, while residents will have the benefit of being able to walk to the work or a café.

Fencing, outdoor seating and canopies may be placed at a zero (0) foot setback. The project will require six (6) feet of property to be paved adjacent to the sidewalk with paving material similar in texture and color to a sidewalk, if fencing and outdoor seating are desired. The furniture must be removed from the exteriors when the establishments are closed. If a business does not wish to have a canopy, fencing or outdoor seating, the remaining area within the setback shall be landscaped and well maintained. All other regulations and permitted uses must be consistent with the City of Brawley's Zoning Ordinance.

Creating a pedestrian friendly neighborhood is essential; buildings must be spaced close together to limit walking distance. Whenever possible buildings shall front streets with parking lots shall be located in the rear to improve the aesthetics of the streetscape. **Figure 3-E** shows the setbacks for the Mixed Use Plaza, and **Table 3.7** lists all required development standards.

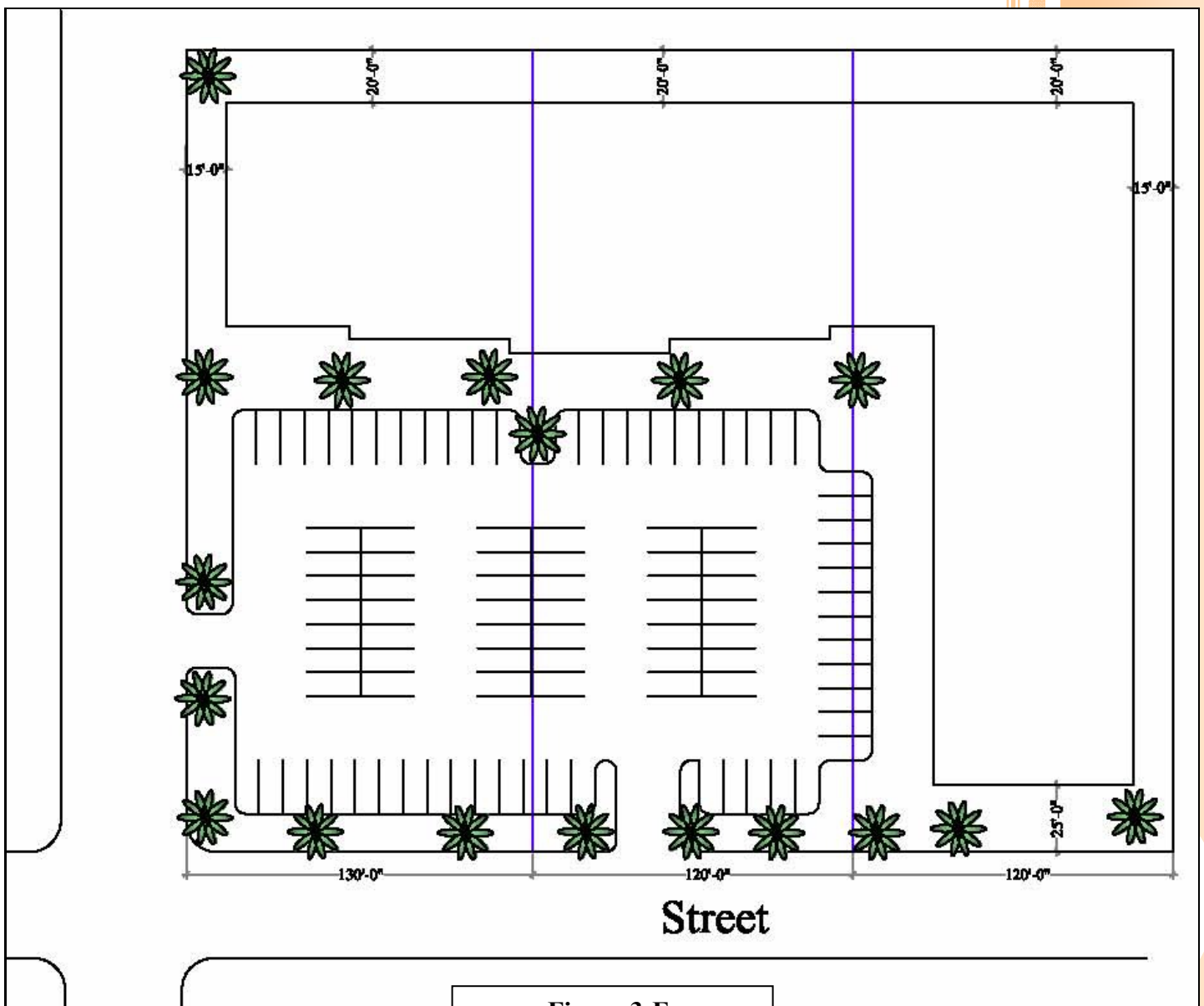


**Figure 3-E:  
MU-P Building Setbacks**

### 3.2.1.5 Commercial Regional (C-RE)

Commercial Regional is a typical commercial zone, located adjacent to highways and main roads. The allowed uses include big box stores, fast food restaurants and regional commercial. Commercial uses within this land use must be consistent with the City of Brawley's Zoning Ordinance.

**Figure 3-F** shows the setbacks for Commercial Regional, and **Table 3.7** lists all required development standards.



**Figure 3-F:  
C-RE Building Setbacks**

### 3.2.1.6 Open Space Park (OS-P)

The OS-P zoning designation includes recreational facilities and parks, no other uses will not be permitted within this land use (see **Figure 3-G**).

#### OS-P Minimum Standards:

All improvements shall be reviewed and authorized by the Parks and Recreation department according to the following criteria:

- The entire area shall be graded, landscaped, and provisions made for adequate drainage.
- A portion of the park shall be planted and maintained as a grassy area with trees.
- Restrooms shall be provided in neighborhood and community parks, shall be unisex, and shall be complimentary in architectural design to the community.
- The following are possible recreational opportunities for the neighborhood park:
  - Children’s play area including tot-lots
  - Tennis courts.
  - Baseball/softball and football/soccer fields
  - Basketball and/or volleyball
  - Racquetball courts
  - Badminton
  - Swimming pool
  - Recreation trails

Land dedicated for parks may be maintained through a LLMD or the City of Brawley, at the option of the City. Parkland will be designed by landscape architects.

Acreage for parkland is based on the City of Brawley’s Subdivision Ordinance; **Table 3.4** shows the parkland dedication formula.

<b>Table 3.4: Parkland Dedication Formula</b>		
<b>Type of Dwellings</b>	<b>Units per Acre</b>	<b>Acreage per Unit</b>
Single Family	5-9	0.0180
Duplex (medium low)	9-12	0.0155
Cluster (medium)	12-14	0.0140
Cluster (medium high)	14-17	0.0115
Apartments	17 +	0.0090



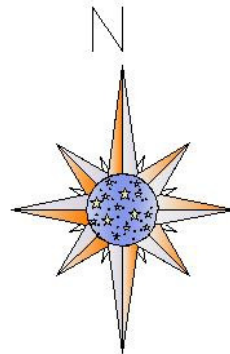
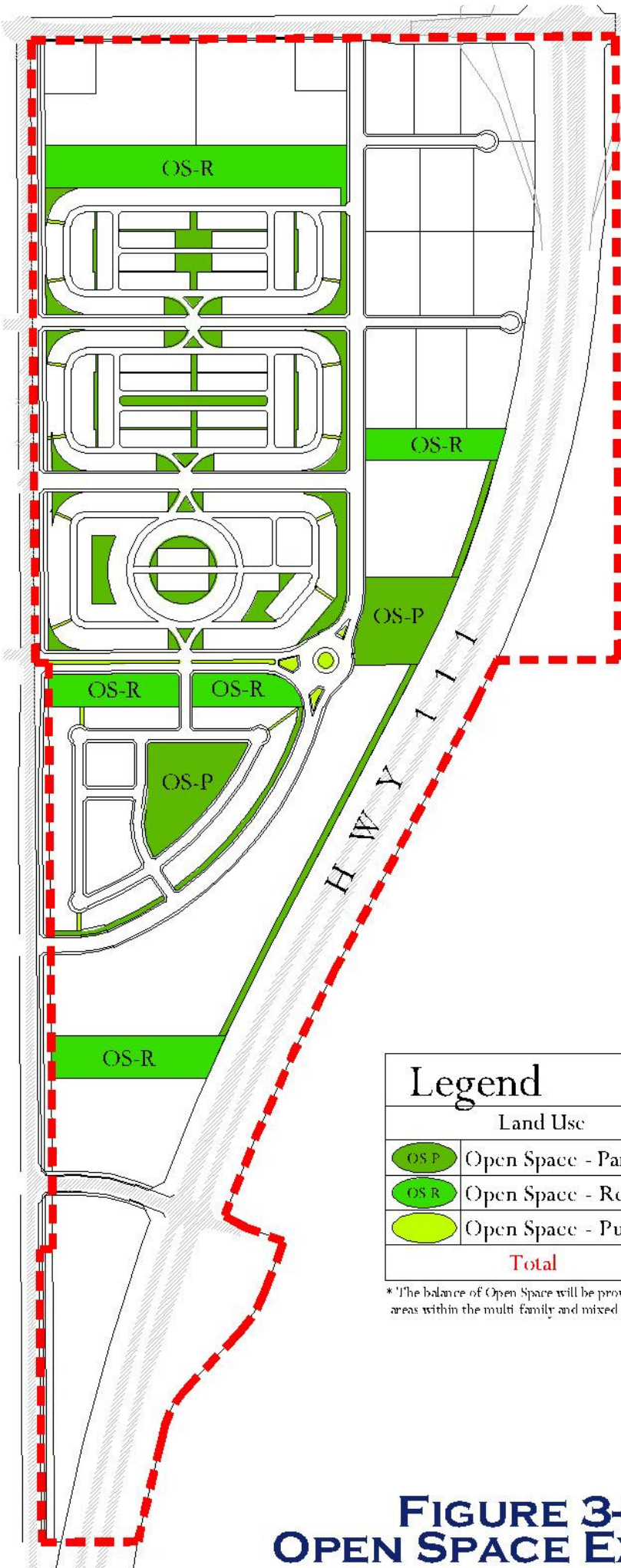
Table 3.5: Parkland Dedication						
Type of Dwellings	Units per Acre	Acreage per Unit	Units		Maximum Acreage Required	
			w/o	w/	w/o	w/
Residential Patio	7.31	0.0180	110	110	1.98	1.98
Residential Caravilla	9.40	0.0155	504	345	7.81	5.35
Mixed Use Plaza	12.00	0.0140	252	252	3.53	3.53
Residential Village Suites	17.05	0.0090	389	389	3.50	3.50
<b>Total</b>	<b>4.57</b>	<b>N/A</b>	<b>1,255</b>	<b>1,093</b>	<b>16.82</b>	<b>14.36</b>

The park requirement for this community is either 16.82 or 14.36 acres depending on the final layout, the community shall have between 16.95 and 15.81 acres of park. If the acreage for parkland does not meet the subdivision ordinance requirements at final map than Quimby Fees may be applied.




Landscaping: All landscaping should be in conformance with the Landscaping Plan in **Chapter 4** of this plan.

At the discretion of the Planning Director of the City of Brawley, other typical park uses may be permitted in addition to those listed above.





SCALE: N.T.S.

Legend		Required	Actual
Land Use		Required	Actual
	Open Space - Park	13.22	16.82
	Open Space - Retention	16.29	15.11
	Open Space - Public Facility	3.73	N/A
<b>Total</b>		<b>33.24</b>	<b>31.93</b>

\* The balance of Open Space will be provided by common areas within the multi family and mixed use land uses.

**FIGURE 3-G  
OPEN SPACE EXHIBIT**



### 3.2.1.7 *Open Space Retention (OS-R)*

The OS-R zoning designation is for joint-use retention basins, passive recreation areas only. Basins shall not be greater than (5.5) feet in depth, shall be landscaped, and properly irrigated and maintained. For further information refer to **Chapter 4 and 6**.

OS-R Minimum Standards:

- Size of retention basin areas shall be the size determined to be necessary by a qualified civil engineer.
- Retention basins may be used for any legal recreational activities that do not require the assembly of a permanent structure. Temporary structures may be allowed by temporary use permit where appropriate.

### 3.2.1.8 *Open Space Public Facility (OS-PF)*

The purpose of the OS-PF zoning designation is to create separations between land uses within the Specific Plan area. To create identity and to protect against noise, uses may need to be subtly separated using landscaping, roads, grading, pedestrian pathways, and walls, where necessary (see **Chapter 4**). As separation is often necessary, it should be tasteful, unobtrusive, and contribute to community character.

Public Facilities shall also be used for pedestrian links. These links shall be built to allow greater pedestrian connectivity to and from transit facilities, parks, commercial and adjacent land uses. The paths shall be logical pedestrian extensions of neighborhood roads, where motorized vehicles are not permitted to travel. They should be a minimum of ten 10' wide. When achievable, pedestrian link pathways shall line up with a public right of way (street/or sidewalk) to allow for maximum visibility through the entire length of the link.

Specific Separation Requirements: A minimum ten (10) foot landscaped setback buffer shall be provided between non-residential uses (including parking lots) and residential uses.

Accessory Uses: Trash bins, outdoor storage, and ground-mounted mechanical equipment are not permitted to be exposed. Trash containers must be shielded from view. If a trash enclosure is outside, it must be screened by a masonry wall that is no less than six feet in height and have opaque gates. The enclosure shall be of a design similar to that of the building it is servicing. A decorative cover shall be provided for all enclosures. Ornamental landscaping is strongly encouraged along or adjacent to enclosures where feasible. Mechanical equipment is exempt from the above opaque gate requirement. Co-location of trash bins, outdoor storage, and ground-mounted mechanical equipment is encouraged.



### 3.2.2 Parking

<b>Table 3.6: Parking Requirements</b>		
<b>Use</b>	<b>Size</b>	<b>Parking Spaces Required</b>
Residential	0-1 BR	1
Residential	2 & ↑ BR	2
Residential Guest	4 Apt	1
Office	250 sq. ft.	1
Retail	300 sq. ft.	1
BR = total bedrooms, ↑ = more, Apt = Apartments, sq. ft. = square feet		

#### 3.2.2.1 Residential

- Each home within the R-PA land use will be constructed with and shall retain a minimum of a two car garage. Conversion of garages into habitable space is not permitted.
- One parking space must be provided for all apartments and two total parking spaces must be provided for apartments with two or more bedrooms within the R-VS and MU-P land uses.
- One guest parking space shall be provided for every four apartments within the R-CV, R-VS and MU-P land uses.
- Large, monotonous and undivided parking lots are not permitted in multi-family projects. Parking bays may be a maximum of two double-loaded drive aisles.
- Parking areas shall be located to the rear of residential structures or dispersed in courts located to the side of the units to reduce their visual impact on the streetscape. Parking courts shall be screened from view of adjacent streets by landscape planters.
- Parking courts should be located a maximum of 200 feet away from the dwelling units they serve.
- Parking lots should be designed and lighted to ensure pedestrian safety.
- There shall be no more than an average of ten (10) spaces of uninterrupted parking, whether in garages, carports or open parking areas. Parking spaces should be broken up by landscape fingers with a minimum width of five feet.
- Landscaping and trees should be incorporated into parking bays and courts.





All other requirements not mentioned here shall be in compliance with the City of Brawley's Zoning Ordinance.

#### 3.2.2.2 *Commercial*

- Compact parking spaces are prohibited, because SUV's and pick-ups park in compact spaces making it difficult for other vehicles to park in adjacent spots.
- The parking lot for Mixed Use Plaza (MU-P) should be located in the rear of buildings, and residential parking should be clearly marked.
- It is highly encouraged to design parking lots and place buildings on lots in a manner that enables easy pedestrian access from lots and streets.
- Shared parking and entrance opportunities shall be considered during the development plan review.
- Bicycle parking spaces shall be provided within sight of business entrances at a ratio of one space per ten (10) automobile spaces.



**Table 3.7: Land Use Regulations**

	R-PA	R-CV	R-VS	MU-P	C-RE	OS-P	OS-R
Lot Size	3,500 sq. ft.	3,200 sq. ft.	1 ac	1 ac	1 ac	0.3 ac	0.3 ac
Maximum Density (du/ac)	7.6 du/ac	9.2 du/ac	17.1 du/ac	13.8 du/ac	n/a	n/a	n/a
Lot Width (ft)	32 ft	32 ft	50 ft	50 ft	120 ft	n/a	n/a
Corner Lot Width (ft)	37 ft	37 ft	55 ft	55 ft	130 ft	n/a	n/a
Cul-de-sac or Odd Shaped Lot Width (ft)	25 ft	25 ft	n/a	n/a	n/a	n/a	n/a
Lot Depth (ft)	80 ft	70 ft	100 ft	100 ft	100 ft	n/a	n/a
Main Bldg Front Yard Setback (ft)	15 ft	20 ft	20ft	15ft	25 ft	n/a	n/a
Garage Setback (ft)	18 ft	20 ft	25 ft	n/a	n/a	n/a	n/a
Front Porch/Balcony Setback <sup>1</sup> (ft)	12 ft	12 ft	17 ft	0 ft	n/a	n/a	n/a
Side Yard Setback (ft)	0 / 5 ft	10 ft	10 ft	0 / 11ft	0 / 10 ft	n/a	n/a
Side Yard Setback, Street Side (ft)	10 ft	10 ft	20 ft	15 ft	25 ft	n/a	n/a
Rear Yard Setback <sup>2</sup> (ft)	20 ft	20 ft	20 ft	20 ft	20 ft	n/a	n/a
Maximum Lot Coverage (ft) (Including accessory buildings)	65 %	65 %	75 %	50 %	55 %	n/a	n/a
Maximum Building and Structure Height (ft)	2 stories / 35 ft	2 stories / 35 ft	40 ft	45 ft	40 ft	n/a	n/a

sq. ft. = square feet, ft. = feet, ac = acre, and du/ac = dwelling unit per acre  
 All regulations are minimum requirements unless otherwise noted.

<sup>1</sup>This applies to open porches with similar roof and main building materials.

<sup>2</sup> Attached, open covered patios will be allowed to encroach up to five feet into the rear setback, provided they do not occupy more than 25% of the back yard.



# RANCHO-PORTER

## CHAPTER FOUR: DESIGN STANDARDS

*This chapter covers design standards; such as building design, massing and height, parking ratios and standards, location and orientation, garage door size and type, entrances, and access.*



## CHAPTER 4: DESIGN STANDARDS

### 4.1 Architectural Guidelines

#### 4.1.1 Residential Design Standards

The residential design guidelines are intended to help the developers and builders to implement the goals and policies of the Rancho-Porter Specific Plan. These design guidelines will ensure the highest level of design quality, while at the same time providing flexibility necessary to encourage creativity on the part of the project designers. Residential areas include a variety of housing types and styles. The range of housing types will include, single family attached, mobile homes, and multi-family homes. This diversity of housing types will allow people of different age ranges and income levels to live in neighborhoods most suitable to their current needs. This housing variety also helps the community reach an efficient and practical land density.

##### 4.1.1.1 Community Identity

Create a pleasant sense of place as a community with enhanced entry arrival sequences. Major entry locations will have intensified landscape treatments with comfortable pedestrian edge conditions.

Design a plan which establishes a strong sense of community rather than an isolated aggregation of projects.

Provide architectural diversity with the use of different but compatible architectural styles with a common theme prevailing throughout the community with landscape and architectural treatments.

Create several neighborhood and mini parks with varied activity uses as a major recreation amenity for the community. A central park is proposed to be utilized as a major community focal point and gathering place. Pedestrian and vehicular access to the parks will be provided through collector roads and walkway/trail systems.

##### 4.1.1.2 Lighting

Dark night skies are unique and should be preserved through the following measures for future generations to enjoy.

Streetlights should be provided as necessary for safety as determined by the City Engineer.

Spillover lighting shall be eliminated through careful selection of the appropriate light standard and light source.



Light shields shall be utilized to direct lighting to the desired locations. Standard lighting shall be cut-off, low pressure sodium lights. Public sidewalks, parks and greenbelts shall be illuminated with low source lighting including bollard lighting and pole lighting not to exceed sixteen (16) feet.

Single family residences may have outdoor lighting for safety and security. Walkways, stairs and drives may be illuminated with down-lighting, low voltage lighting or light sources with directional shields.

Multi-family residences and commercial development lighting will conform to local building codes for minimum lighting requirements while adhering to the design statement.

Up-lighting may be used to highlight significant architectural features and landscape elements as long as light does not spill to adjacent properties.

Lighting plans including location, type, materials, details and photo-metrics of all project lighting shall be provided when submitting for building permits.

#### *4.1.1.3 Facade and Roof Articulation*

The articulation of facades and the massing of structures give them richness and scale. Long uninterrupted exterior walls in excess of thirty feet shall generally be avoided on structures which are visible from public streets and public areas. Larger wall and roof planes are encouraged to include three dimensional features such as porches, balconies, bay windows, dormers and similar features.

The integration of varied texture, relief, color and design accents on building walls can soften the architecture and is encouraged.

For sloped roofs, both vertical and horizontal articulation is encouraged. Rooflines shall be compatible with the design and scale of surrounding dwellings. Roof articulation may be achieved by changes in plane of no less than two and one-half feet and/or the use of traditional roof forms such as gables, hips and dormers. Flat roofs and A-frame type roofs are discouraged unless appropriate to the architectural style of the dwelling.

Gable, hip or shed roof forms should be utilized, consistent with the architectural style of the building. An example of a combination gable, hip and shed roof is depicted below.

Roof pitch may vary from 3:12 to 5:12 depending on the style.

Varied plate and ridge heights may be used to create offsets in the ridgeline to better articulate roof forms and building massing. Roof form, materials and colors of detached garages or accessory structures should be designed to reflect the character and materials of the primary structure.



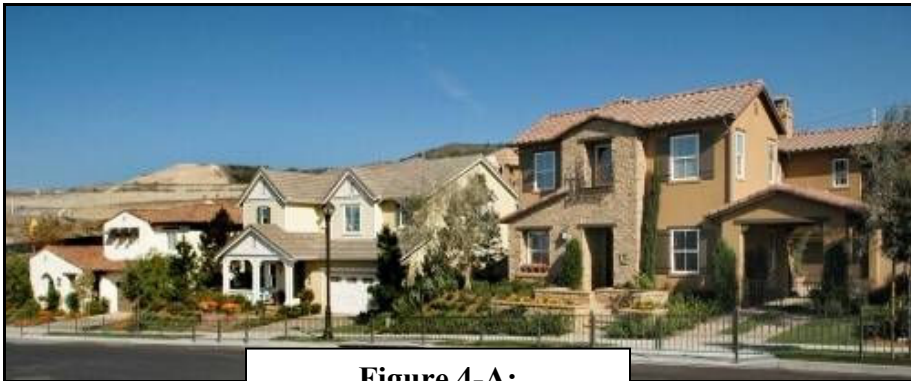
The overall design of the roof form of each dwelling unit shall be simple and compact.

Visual variety of dwelling units can be achieved with roof forms, overhangs and shading devices that relate to the solar orientation of a lot. This results in a more livable and energy efficient home and brings a subtle and natural variety to a neighborhood's streetscape.

Roof materials should be appropriate to a home's style, roof form and slope. Heavier or more complex roofing materials (tile, concrete tiles) should be placed on simpler roofs - if they are used on complex roofs, they can cause leakage or unnecessary problems. More complex roofs, however, require monolithic, simpler materials such as shingles. Recommended roof materials include tile, slate, concrete tiles and thicker architectural-grade shingles.

#### *4.1.1.4 Varied Structure Design*

A diverse array of home designs shall be provided within the development. The massing and composition of adjacent homes should be distinct in order to reduce monotony and create variety and interest. One design shall not be repeated more frequently than each fourth house. Each street block shall include an assortment of models and elevations.



**Figure 4-A:  
Varied Structure Design**

#### *4.1.1.5 Materials and Colors*

The choice and mix of materials and colors on structure facades and garage doors is important in providing an attractive living environment. Materials and colors shall be consistently applied on any facade visible from adjacent streets. Materials and colors should be chosen to work harmoniously with the materials and architectural style of adjacent homes.



Varying roof and building colors from dwelling to dwelling is encouraged.

All structures on a site shall have a consistent and complementary color scheme, including the roof color.

Roof flashing, rain gutters, downspouts, vents and other roof protrusions shall be finished to complement the adjacent materials and colors.

Materials and colors should correspond to the building's architectural style as well as the natural environment surrounding the project. In general, subdued colors are more appropriate on the body of a structure, while brighter or bold colors are limited to architectural details and window and door trims. Garish or excessively bold colors shall be avoided.

Stucco and natural or artificial stone having the necessary fire retardant characteristics, are encouraged for exterior surfaces.

Color is intended as a primary theme element, and color values should coordinate with the design theme.

Accent color should be used for shutters, awnings, trim, fascia, balcony rails, inlaid tile bands or cornice bands and should relate to the architectural form and character of the building.

Asphalt paving is prohibited for driveways.

#### *4.1.1.6 Accessory Structures*

The design of accessory structures shall be architecturally compatible with the principal residential structure through the use of consistent architectural style, exterior building and roofing colors, and materials and landscaping.

#### *4.1.1.7 Entrances, Porches and Entries*

An important element of a residential environment is the relationship between private homes, a public street, and the sidewalk. Therefore, all front entrance areas should be easily recognizable from the street. Front doors and porches are strongly encouraged to be visible from the street in order to create a community that is open, accessible, and socially interactive.

Porches are encouraged to be covered and shall extend at least six feet along the front wall of the house, not including the garage face. Porches may be raised or at ground level. Porch floors shall be constructed of hard surface materials such as concrete, wood, tile, brick, cut or flat stone. An example of a porch is depicted below.







**Figure 4-B:  
Front Porch**

Entries may be accompanied by a projecting overhead element such as a shed, arch or gable providing roof coverage and weather protection. Entries shall be an integral architectural feature compatible with the main structure.

Houses should feature enhanced entries, balconies, porches and other architectural elements to provide an “eyes on the street” effect.

#### *4.1.1.8 Windows*

Windows shall be compatible with the building design. Window placement should provide each primary room with natural light and effective cross ventilation.

All dwelling units shall contain at least one window that looks out onto the life of the street from an active room. “Eyes on the street” will encourage neighborhood interaction, and help create a safer neighborhood.

The design of each dwelling unit shall consider the home’s solar orientation for window placement. A more open facade will work for south and east orientations. A closed facade will work for north and west orientations. South and west facing windows not shaded by roof overhangs could have bracketed trellises or awnings. Tailoring window placement to the home’s location creates alternating elevations that vary for practical, ecologically sound reasons.



#### *4.1.1.9 Building Elevations*

Building elevations should be harmonious and compatible with the architectural style's design elements.

Each elevation should be designed with a proper visual balance and sense of cohesion. All building elevations, not just the front, should have detailing appropriate to the style.

Living space, entries, windows, doors and architectural details shall dominate the presence of the house on the street.

Functional covered balconies, decks and covered front porches that reflect the building's style are encouraged.

Garage doors should not dominate the front elevation of the building.

#### *4.1.1.10 Additional Building Components*

Exposed gutters and downspouts should be painted to match the roof, fascia, trim and/or wall colors.

Gutters and downspouts should be placed so as not to detract from or compete with the architectural design of the building.

All flashing, sheet metal, vents and pipes should be painted to match the adjacent surface.

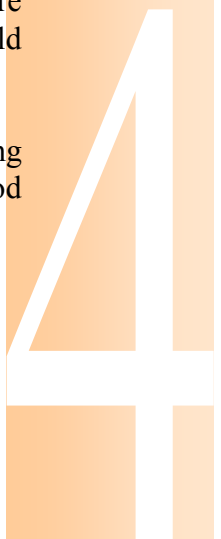
If provided, skylights should be incorporated into the roof design to provide natural light and passive solar energy. The frame color should blend with the surrounding roof color; natural aluminum frames are not allowed.

If used solar panels should be integrated into the roof design.

#### *4.1.2 Lot Orientation*

Lots located on curves or at corners can be oriented in a direction different than that of lots at mid-block and can therefore be nonrectangular or angled. Homes on corner lots are encouraged to have wrap-around porches. The side elevation facing the street should have the same level of detail as the front elevation.

Vary building orientations and massing to create a non-aligned and more interesting street scene. Provide varied setbacks and lot conditions to improve neighborhood conditions and diversity.



Neighborhoods within the development will be designed so that homes are oriented to local streets, public parks, common open spaces and other community amenities. Orienting homes toward streets and parks not only helps to create safe and pleasant walking environments, it creates a lively and appealing street scene.

Whenever possible, the design and placement of residential dwellings and community buildings shall maximize visibility and encourage social interaction. Visibility may be achieved through careful building orientation, the placement of windows, doors and balconies, entrances to buildings and the community as a whole, the placement and type of landscape materials and types of walls and fences. Covered front porches create a presence along streetscapes and help to further a home's visibility.

#### ***4.1.3 Attached and Multiple-Family Residential Design Standards***

The following design standards are intended to assist the designer in understanding the requirements pertaining to residential development within the Rancho-Porter Specific Plan. The intent of these design guidelines is to achieve a high level of visual appearance, building function and architectural compatibility. These standards complement the land use regulations contained in this document by providing good examples of potential design solutions and design interpretations of the various mandatory development standards. These design standards ensure the highest level of design quality while, at the same time, provide the flexibility necessary to encourage creativity on the part of project designers.

##### ***4.1.3.1 Site Planning***

Multi-family housing tends to generate large parking areas because of its higher densities. If not properly designed, parking facilities can dominate the site leaving open spaces relegated to leftover areas. Multi-family developments surrounded by high walls, parking lots, and rows of carports are examples of practices to be avoided. Instead, attached multi-family developments consist of individual units that are oriented to the street, with entry features such as front porches that provide direct access to the street, and parking areas that are located to the rear of the units are highly desirable. Such site planning and design promotes neighborhood interaction, provides "eyes on the street" and ensures pedestrian-oriented streetscape.

Each elevation should be designed with a proper visual balance and sense of cohesion. Elevations of the buildings should have detailing appropriate to the style.

Functional covered balconies, decks, covered front porches and other architectural detailing that reflect the style of the building are encouraged.

Buildings should be sited to take advantage of parks, open space views, courtyards and/or recreational facilities.



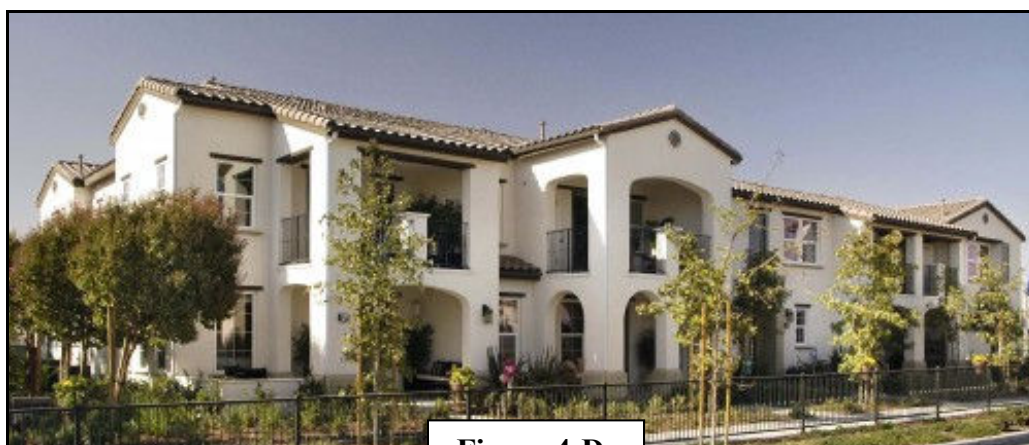
If building elevations other than the front (street) elevation are visible from a side street, park, or other public area, they should have the same level of detail and articulation as the front elevation.



**Figure 4-C:  
Townhomes Clustered  
Around Green Belts**

#### 4.1.3.2 Streetscene

Structures composed of a series of simple, yet varied, planes will assure compatibility and variety in overall building form. The following design techniques shall be implemented whenever possible:



**Figure 4-D:  
Streetscene**

- Varying setbacks within the building façade is encouraged.
- Use of reverse building plans is encouraged to add variety.





**Figure 4-E:  
Varied Building Massing**

#### 4.1.3.3 *Visibility*

Whenever possible, design and placement of residential dwellings and other features shall maximize visibility and encourage social interaction. This includes building orientation, placement of windows, doors and balconies, buildings and site entrances, placement and type of landscape materials, types of walls and fences and other physical obstructions.



**Figure 4-F:  
Visible Front Entry**



**Figure 4-G:  
Front Entries Facing  
the Street**

*4.1.3.4 Project Entries*

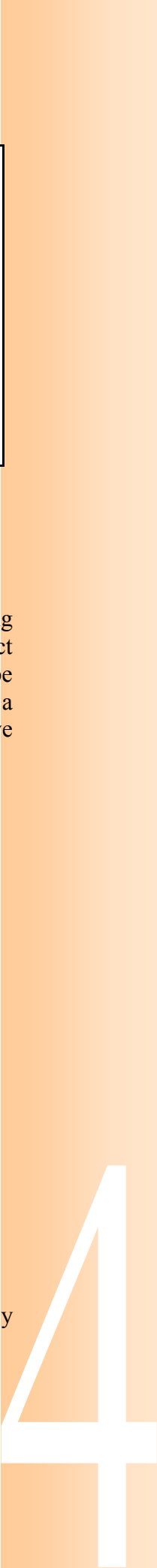
Project entries should readily welcome residents and visitors while creating a strong neighborhood identity. They should incorporate landscaping, open space areas, project signage and directories. Special attention should be given to hardscape and softscape treatments to enhance the overall project image. The principal vehicular access into a multi-family housing project shall be through an entry drive rather than a parking drive whenever possible. Special paving is encouraged at entryways.



**Figure 4-H:  
Project Entries**

*4.1.3.5 Parking and Drives*

- Parking lots should be designed and lighted to ensure pedestrian safety.
- Guest parking should be distributed throughout the development and clearly identified.
- Parking spaces should be broken up by landscape fingers and islands.



- Landscaping and trees should be incorporated into parking bays and courts.

#### 4.1.3.6 *Garages*

- Individual parking garages within residential structures shall be enclosed behind garage doors.
- Long rows of garages should be avoided.
- Trash enclosures with solid screening shall be distributed throughout a development and sited to allow vehicular access from pick-up vehicles.



**Figure 4-1:  
Articulated Rear Elevations  
with Recessed Garages**

#### 4.1.3.7 *Carports*

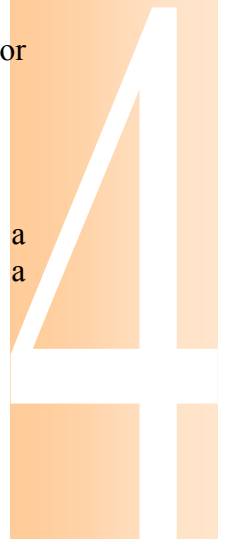
Where carports are permitted, they must follow the same criteria for spatial arrangement as parking courts. Carports may be incorporated with patio walls or used to define public and private open space. The ends of each cluster of carports shall be landscaped if visible from public or private streets, or adjacent properties.

#### 4.1.3.8 *Pedestrian Access from Parking*

Landscape fingers should, wherever possible, align with major building entrances or stairways to provide pedestrian convenient access to the building entrance.

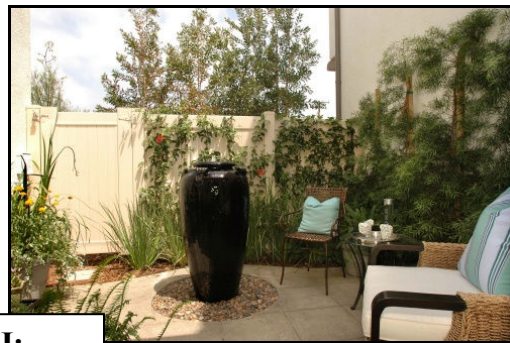
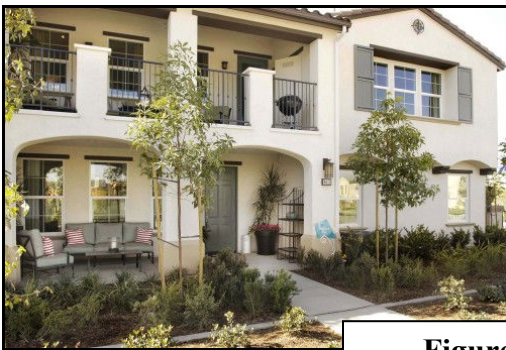
#### 4.1.3.9 *Mailboxes*

Groups of mailboxes shall be provided within a centralized location such as a community building or clubhouse. Consolidated mailboxes should be contained in a structure complements the theme and architecture of the development.

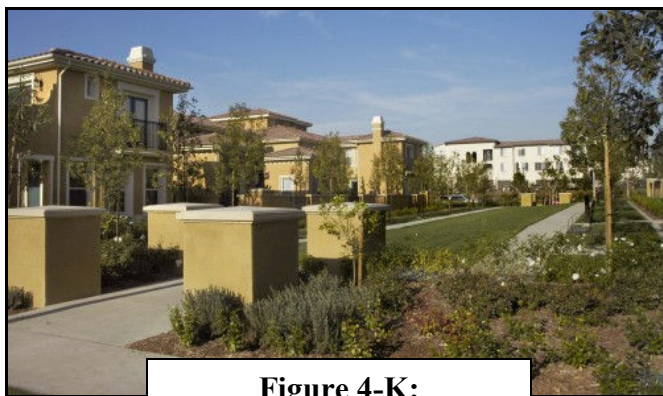


#### 4.1.3.10 Usable Open Space

- Residents shall have safe and convenient access to usable open space, whether public or private.
- Useable open space shall be designed and orientated to take advantage of available sunlight and should be sheltered from the elements, noise, traffic, and other incompatible uses.
- Required common open spaces shall be conveniently and centrally located to the majority of units in the development.
- Common usable open spaces and children's play areas shall be visible from individual units and connect to the internal pedestrian system.
- Private usable open spaces shall be contiguous to and have direct pedestrian access from the units they serve.
- All usable open space areas shall have appropriate lighting and be regularly maintained.



**Figure 4-J:  
Private Open Space**



**Figure 4-K:  
Common Open Space**



#### 4.1.3.11 Dwelling Unit Access

The use of long, monotonous access balconies and corridors which provide access to five (5) or more units shall be avoided. Instead, access points to units should be clustered in groups of four (4) or less. The use of distinctive architectural elements and materials to denote individual entrances is encouraged. Individual units located adjacent to a public street should be generally oriented to the street and include an entry feature such as a porch that provides direct access to the street when possible.

#### 4.1.3.12 Mass and Scale

Because multi-family projects are usually taller than one (1) story, their bulk can impose on surrounding uses. The scale of such projects shall be considered within the context of their surroundings. Multistory box-like structures should be avoided by providing horizontal and vertical relief.

- Large monolithic building forms should be avoided.
- Architectural elements such as chimneys, balconies, porches, and pot shelves (consistent with the architectural style) should be provided for visual diversity.
- To the extent possible, entrances to individual units should be plainly visible.



**Figure 4-L:  
Mass and Scale**



## 4.2 Landscape Plan

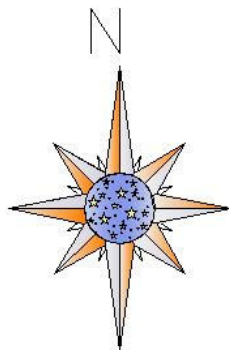
The Landscape Plan will provide guidelines for the Rancho-Porter Community, discussing elements from what types of plants used to fencing type. Landscaping for parks and retention basins will also be discussed in this section. **Figure 4-M** shows an overall landscape plan, while **Figure 4-N** shows the neighborhood park landscaping plans.

### 4.2.1 General Landscape Guidelines

Drought tolerant species with low maintenance requirements shall be utilized where possible.

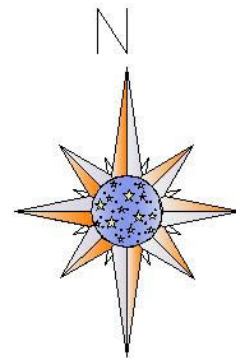
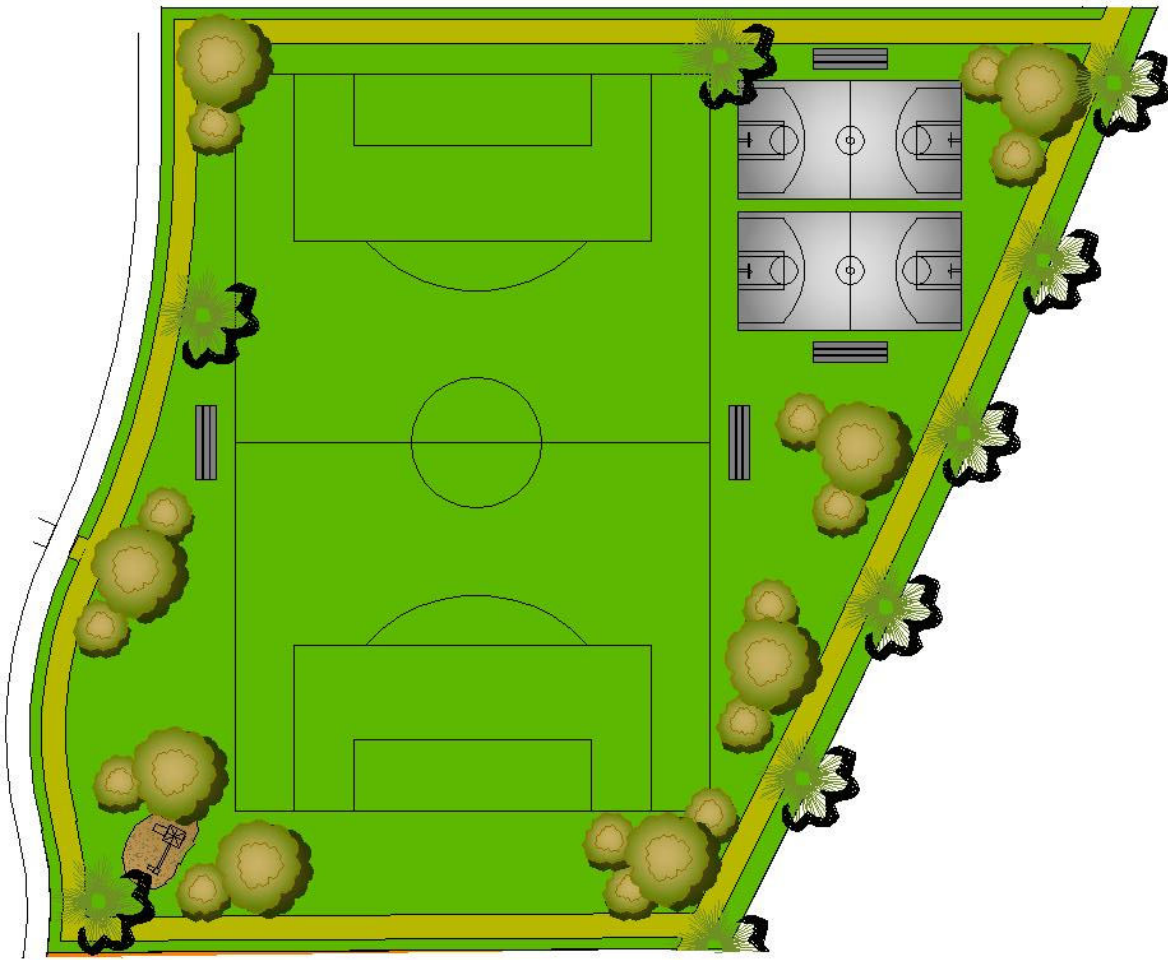
Streetscapes and entry treatments should be designed to promote community character and should consist of trees, shrubs, and groundcover that are selected to establish a distinct character or theme for the project.

- Identity markers shall be placed within the community.
- A compatible plant palette of trees, shrubs and ground covers shall be used throughout the project area especially within public parkways. Once a plant or plant combination is used for a particular application, it is to be repeated in similar areas of the project to reinforce a sense of neighborhood cohesion. Landscape design should not however, result in monotony or lack of variety and biological diversity.
- Residential lots that do not have parkway frontage along the front yard areas shall have a minimum of one-tree planted prior to occupancy.
- The community will provide a minimum of thirty-five (35) trees per gross acre (twenty percent shall be twenty-four (24)-inch box or larger, seventy percent shall be fifteen (15)-gallon and ten percent shall be five (5)-gallon size).
- All residential front yards shall be landscaped with irrigation systems prior to occupancy.
- Trash bins, outdoor storage, and ground-mounted mechanical equipment are not permitted to be exposed.
  - Trash containers must be shielded from view. If a trash enclosure is outside, it must be screened by a masonry wall that is no less than six feet in height and have opaque gates. The enclosure shall be of a design similar to that of the building it is servicing. A decorative cover shall be provided for all enclosures.
  - Ornamental landscaping is strongly encouraged along or adjacent to enclosures where feasible.



SCALE: N.T.S.

**FIGURE 4-M  
LANDSCAPE PLAN**

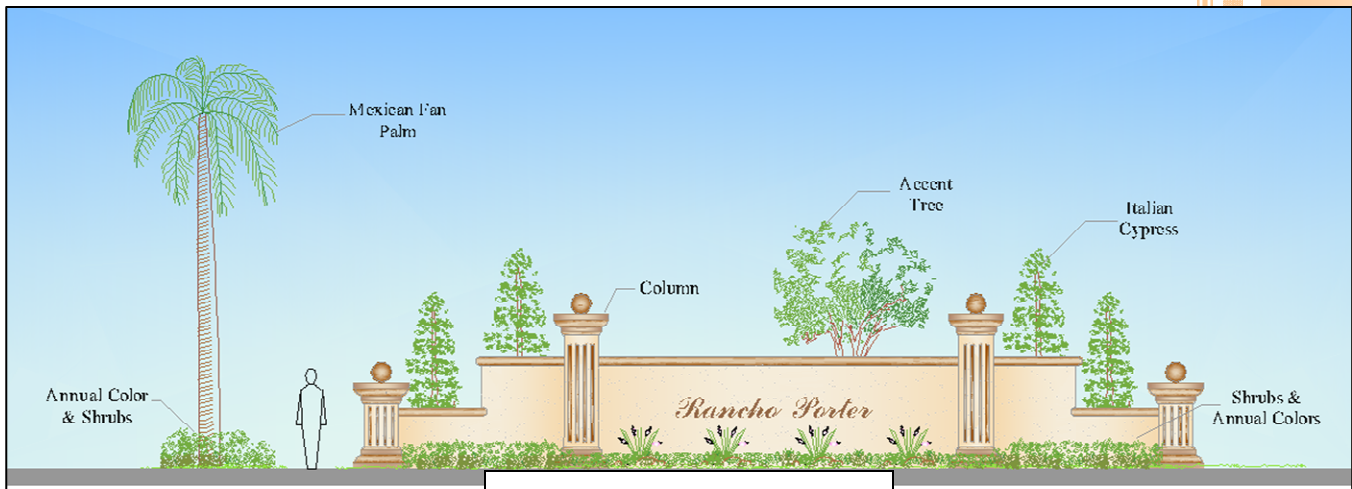


SCALE: N.T.S.

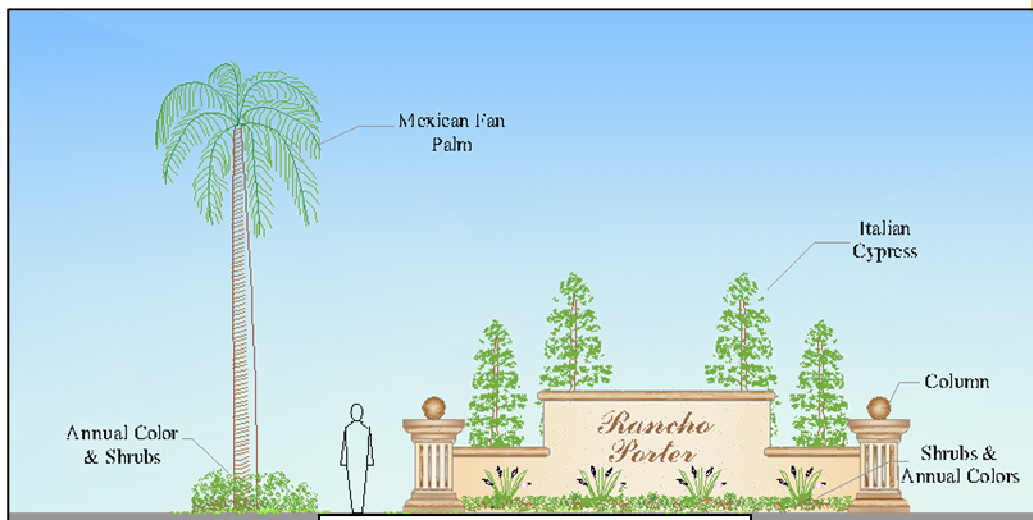
**FIGURE 4-N  
PARK EXHIBIT**

#### 4.2.2 Community Entries and Right-of-ways

The primary and secondary entries for the Rancho-Porter shall set the tone and character of the community while using colors and materials that compliment the community's architecture. Landscaping at these entry points will be emphasized with palms and accented with other selected trees. All shrub and groundcover plantings shall be a minimum of five (5) gallons in size. There will be a landscaped median between the entry and exit to the community to enhance the overall appearance of the community. These entries will serve as physical and visual gateways into the project area. They should reinforce the community's identity through the use of planting forms, materials, and colors (see **Figures 4-O** and **4-P**).



**Figure 4-O:  
Primary Entry Monument**



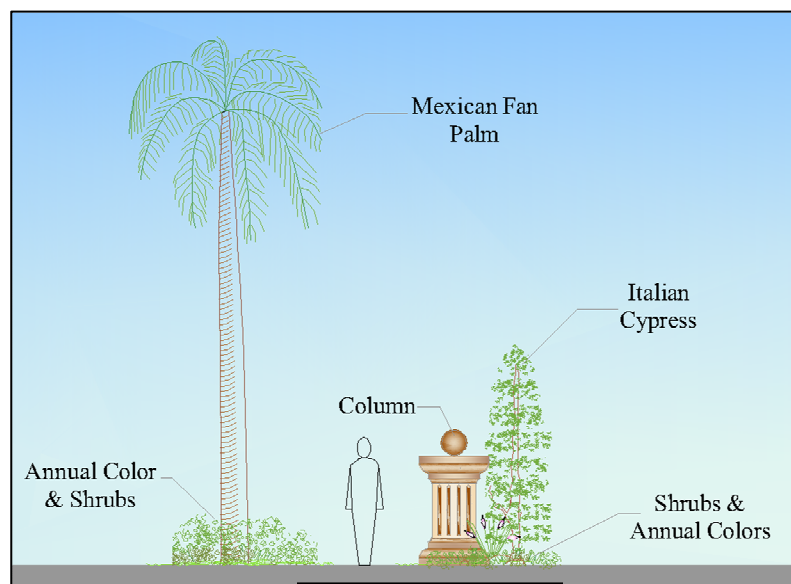
**Figure 4-P:  
Secondary Entry Monument**



All shrub and groundcover plantings should be consistent within each neighborhood and be compatible with adjacent neighborhoods (see **Appendix A: Planting Schedule**). Trees should be planted along parkways or within the front yard of each single-family home. Unless otherwise stated in this plan, the following standards shall be required along City right-of-way:

- Minimum tree size: five (5)-gallon size.
- Planters shall be at least five (5) feet wide with six (6)-inch curbs.
- Root barriers should be used for trees that could damage infrastructure.
- Landscaping which softens and buffers view of Highway 111 and Best Avenue will be incorporated.
- Primary entries will be located on:
  - Avenida de La Paloma
  - Malan Street
  - Wildcat Drive
  - Seabolt Drive
- Secondary entries will be located on:
  - I Street
  - K Street

In addition to the entry monuments there will be identity markers located in various location of the community see **Figure 4-Q**.



**Figure 4-Q:  
Identity Marker**



### **4.2.3 Irrigation Systems**

The irrigation systems for improved areas should be permanent, automatic systems, programmed to deliver adequate soil moisture as determined by the depth of the root zone. The soil moisture attained should promote vigorous growth of all plant materials. The system should be maintained in good working order, and the cleaning and adjustments to the system should be part of the regular maintenance activities. All landscaped catch basins, swales, channels and other drainage devices should be maintained in a state conducive to conducting water in a free-flowing condition. In addition, irrigation systems shall be designed so that separate areas of maintenance responsibility (e.g. City, HOA, or a LLMD) are metered and controlled independently.

### **4.2.4 Retention Basins**

All retention basins within the project are areas of opportunity for passive outdoor use that will serve the surrounding community. A diversity of passive recreational amenities should be strategically implemented into the retention basins such as meandering multi-purpose trails. The retention basins shall be maintained through a Lighting and Landscaping Maintenance District (LLMD) or Home Owners Association (HOA). Recommended planting materials for these retention basins should fit within the overall scheme of the community.

Landscaping Standards:

- A summary of implementation plans for long term maintenance shall be listed.
- A soil maintenance plan that includes a soil quality report and necessary amendments will help ensure thriving landscape.
- A drainage plan shall be provided.
- At least 50% up to 100% of the retention basin shall be xeriscaped.
- A plant listing for landscaping shall be provided.
- No more than 50% of the retention basin shall be concrete.
- An amenities plan shall be provided that outlines the location and size of facilities that are to be provided. The plan shall include trash cans and park benches.
- A lighting plan shall be provided.

An amenities plan shall be provided outlining the location and size of any recreational facilities. The plan shall include multi-purpose trails, trash cans, and park benches (see **Figure 4-M**).



Pedestrian links shall be provided to and through the retention basins.

- Slopes shall have low maintenance drought tolerant landscaping with drip or bubbler style irrigation system.
- The bottom of the retention basin shall have grass with an automatic sprinkler system.
- Soil of slopes and bottom of retention basin shall be treated with additives and amenities to ensure proper nutrient/chemical balance necessary to support landscaping.
- The lowest levels of a retention basin should be designed for natural habitat, such as wetlands or landscaping that can accommodate saturated soils in a desert climate.
- The landscaping contracting shall warrant and maintain the landscaping for one year. If, after a year, the landscaping (plants, groundcover, and grass) do not appear to be healthy and growing, the contractor shall extend the warranty another year and correct the deficiencies.
- An alternative landscaped plan may be proposed and submitted to the Director of Public Works/ Engineer for review and approval.

#### **4.2.5 Parks**

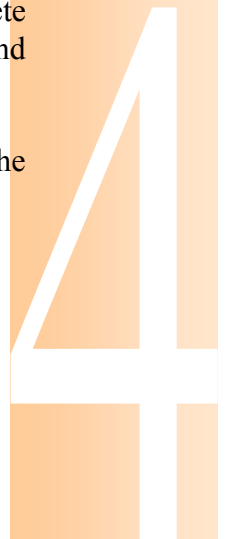
Parks shall be designed for either passive or active activities.

Passive Parks may include amenities such as overhead shade trellis structures, barbecues, gardens, and open lawn space.

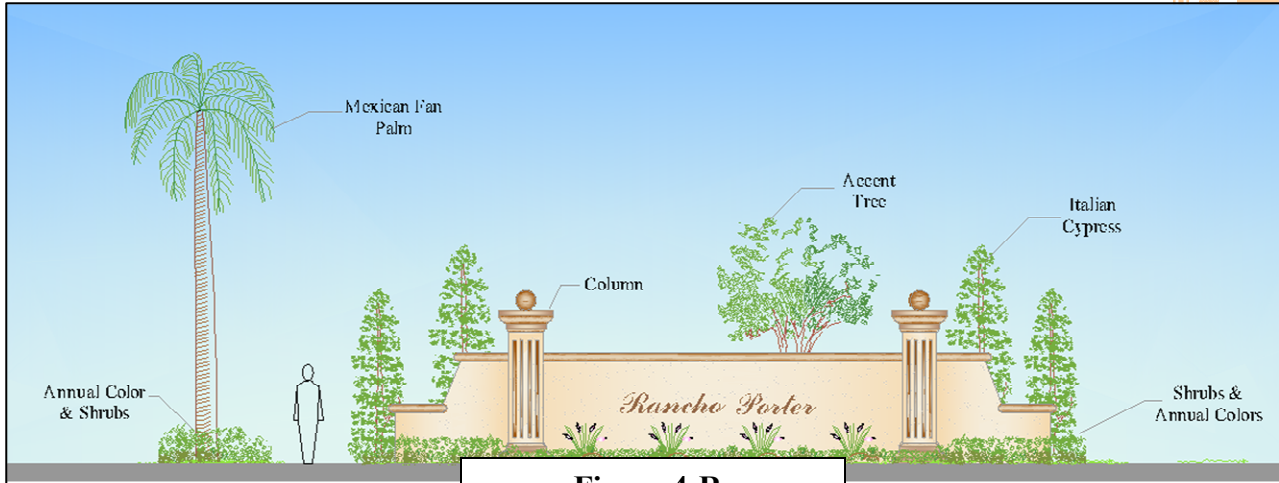
Active Parks may include playgrounds, tot lots, sport fields or courts, family picnic areas, swimming pools, cabana or patio cover, and open lawn space. Activities for different age groups should be appropriately grouped or separated.

The park should be graded to two (2) percent or less and improvements provided, including but not limited to adequate drainage, drought tolerant landscaping, concrete walkways, and automatic irrigation systems. The entire area shall be graded and landscaped with provisions made for adequate drainage.

Signage will be provided at the entrance to the neighborhood park to enhance the aesthetics of the community (see **Figure 4-N**).







**Figure 4-R:  
Park Entry Monument**

#### 4.2.6 Walls and fences

A wall or fence in the front yard is not required by this specific plan, but it is allowed with special considerations. These walls or fences shall be designed for aesthetic purposes to compliment the primary home and shall not be designed for security reasons. Walls and or fences may be constructed of posts, wrought iron, wood, brick, concrete or a similar material (see **Figure 4-T**).

Trash enclosures with solid screening shall be distributed throughout the development and sited to allow vehicular access from pick-up vehicles.

In lieu of fencing, lot separation can be denoted by drainage swales or low-lying landscaping. Rear yards may be fenced with a maximum of six (6) foot high privacy fence.

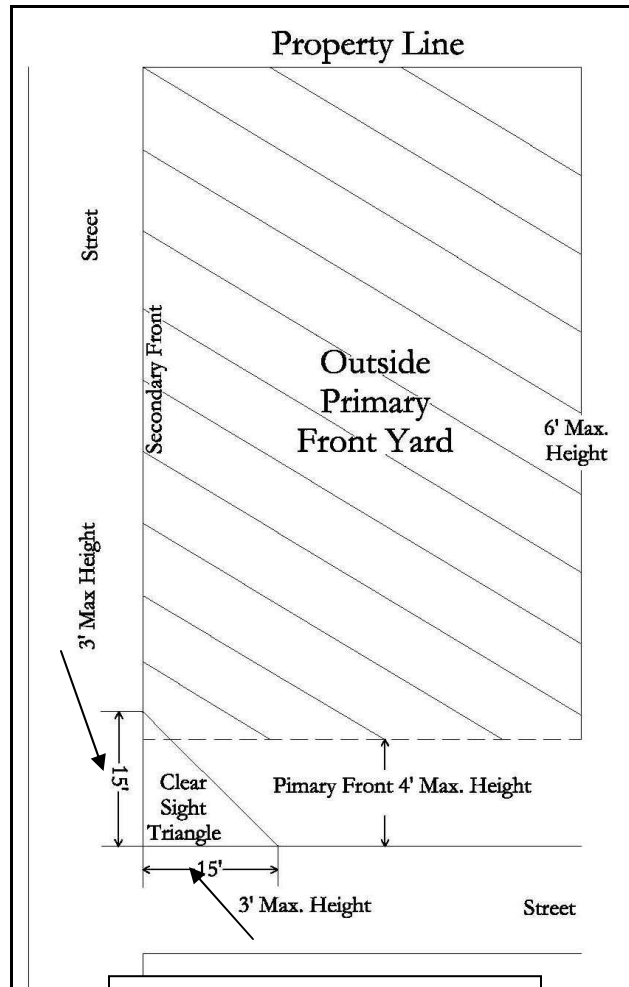
#### Height Requirements:

Front Yard: 4 feet

This shall be the maximum within primary front yard (see **Figure 4-S**).

Side and Rear Yard: 6 feet

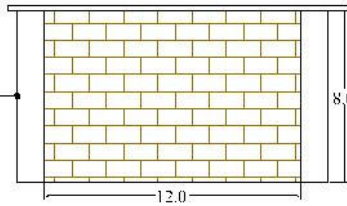




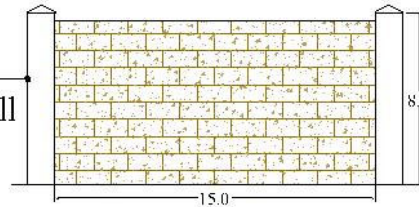
**Figure 4-S:  
Corner Lot Walls & Fences**

## Exterior & Interior Perimeter Walls, and Sound Attenuation Walls

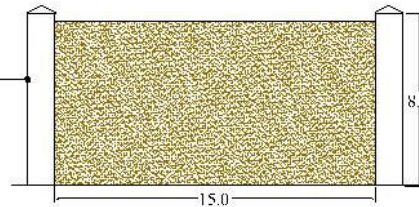
Option A  
6" Thick Slump Wall



Option B  
Slump Sack Finished Stucco Wall  
W/ Decorative Capped Pilaster

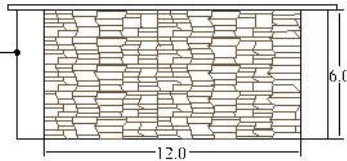


Option C  
Decorative Capped Pilaster  
& Stucco Wall

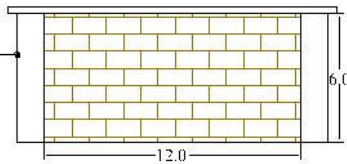


## Side Yard Fencing

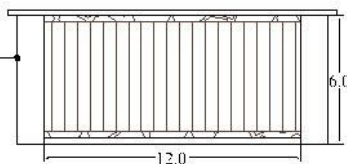
Option A  
Precast Concrete Screen Wall



Option B  
6" Thick Slump Wall

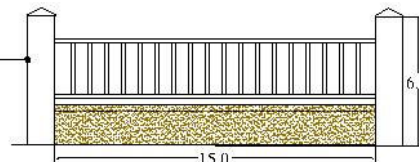


Option C  
Standard Wood Fencing

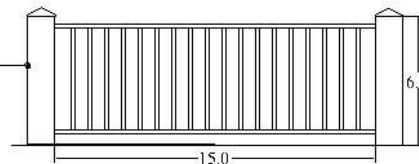


## Special Use Pilaster & Fencing

Option A  
Decorative Capped Pilaster  
& Block Wall w/Tubular Steel



Option B  
Decorative Capped Pilaster  
& Tubular Steel



Note: Colors for all fences and walls shall be earth tone in nature.  
Pilasters shall have spacing between 12' and 15' and shall be 24" by 24".  
Heights shall vary between 6' and 8'.  
Capped pilasters shall have a decorative cap (no rounded or 'mud' cap finish)'

# FIGURE 4-T WALLS AND FENCES EXHIBIT



